

Proposed Amendments to the Town of Stratford Zoning and Development Bylaw  
Regarding the Waterfront Gateway Area  
2025.06.23

**1. Add the following text in bold to Subsection 1.5.2:**

1.5.2 Notwithstanding Section 1.5.1. above, a Development Officer shall have the authority to approve or deny Development applications in the Core Mixed Use (CMU) Zone, **Waterfront Mixed Use (WMU) Zone**, and Urban Core (UC) Zone in accordance with Section 7.6., Site Plan Approval Process, in this Bylaw; excluding developments which require preliminary approval of subdivisions of greater than five (5) Lots or where the extension of water mains, sewer mains or Streets is required.

**2. Add the following text in bold to Subsection 7.6.1:**

7.6.1 All applications in the CMU, **WMU**, and UC Zones shall follow the site plan approval process and shall be accompanied by: [...]

**3. Delete Appendix 'D'**

**4. Add the following definition of STREETWALL WIDTH following the definition of STREETWALL SETBACK:**

**STREETWALL WIDTH** - means the total horizontal distance between the outermost edges of the streetwall facing a streetline.

**5. Replace Section 12.1 with the text and maps in Appendix A.**

**6. Amend the Zoning Map as illustrated in Appendix B.**

12.1. **WATERFRONT MIXED USE (WMU) ZONE**

12.1.1. **GENERAL**

Except as otherwise provided in this Bylaw, all buildings and parts thereof erected, placed, or altered, or any land used in a Waterfront Mixed Use (WMU) Zone shall conform with the provisions of this Section.

12.1.2. **PERMITTED USES**

Within a Waterfront Mixed Use (WMU) Zone, no building or part thereof and no land shall be used for purposes other than the following uses and uses accessory to the following uses, subject to the ground floor requirements of Subsection 12.1.3:

- i. Business and Professional Offices;
- ii. Child Care Centre;
- iii. Entertainment Establishment;
- iv. Financial Services;
- v. Health Clinics;
- vi. Hotels, Motels or other Tourist Establishments;
- vii. Institutional Uses;
- viii. Lounges;
- ix. Multiple Attached Dwellings;
- x. Nursing Home;
- xi. Parking Garages;
- xii. Parking Lots;
- xiii. Parks;
- xiv. Passive Recreation Uses;
- xv. Personal Service Shops;
- xvi. Restaurants;
- xvii. Retail Stores;
- xviii. Stacked Townhouse Dwellings; and
- xix. Townhouse Dwellings

12.1.3. **GROUND FLOOR USE REQUIREMENTS**

Where a lot line is identified on Map 12.1.1 as being a "Commercial Use Priority Lot Line" the ground floor of any building along that lot line shall not be used for dwelling units or for nursing home uses. For greater clarity, the ground floor of such buildings may be used for lobbies and amenity space accessory to upper floor dwelling units.

**Appendix 'A'**

**12.1.4. SERVICING**

All Development in a Waterfront Mixed Use (WMU) Zone shall be serviced by municipal sewer services and municipal water supply.

**12.1.5. SITE PLAN APPROVAL**

- (a) All applications for site plan approval shall follow the Site Plan Approval Submission requirements outlined in Section 7.6.
- (b) Applications that cannot meet the Site Plan Approval requirements of this Zone, or the Variances permitted through Section 6.1., can apply for a Development Agreement through Section 7.9 of this Bylaw.

**12.1.6. LOT REQUIREMENTS**

The following requirements shall apply to the creation of lots within in a Waterfront Mixed Use (WMU) Zone:

Requirement	Standard	
(a) Minimum Lot Area	200 sq. m (2,153 sq. ft.)	
(b) Minimum Lot Frontage	6.0 m (19 ft.) for interior townhouse units	7.5 m (25 ft.) for all other uses

**12.1.7. BUILDING SITING AND MASSING REQUIREMENTS**

The following requirements shall apply to all buildings within a Waterfront Mixed Use (WMU) Zone:

Requirement	Standard
(a) Minimum Yards	As illustrated on Map 12.1.2.
(b) Maximum Yards	As illustrated on Map 12.1.3.
(c) Minimum Building Height	As illustrated in Map 12.1.4.
(d) Maximum Building Height	As illustrated in Map 12.1.4.
(e) Minimum Streetwall Height	As illustrated in Map 12.1.5.
(f) Maximum Streetwall Height	As illustrated in Map 12.1.5.
(g) Minimum Ground Floor Height	4.0 m (13 ft.)
(h) Minimum Building Stepback Above the Streetwall	3.0 m (10 ft.)
(i) Maximum Building Width along Front Lot Lines	105 m (344 ft.)
(j) Maximum Building Width along Flanking Side Lot Lines	90 m (295 ft.)

## Appendix 'A'

### 12.1.8. NEW STREETS

- (a) Subject to modification and approval by the Town of Stratford, the PEI Department of Transportation and Infrastructure, and the Stratford Utility Corporation, new streets within the Waterfront Mixed Use (WMU) Zone shall conform to one of the cross-sections illustrated in Image 12.1.1.
- (b) Notwithstanding 12.1.7(a), where a street is constructed after the effective date of this section, the minimum yard from the streetline of that street shall be 3.0 metres.
- (c) Notwithstanding 12.1.7(b), where a street is constructed after the effective date of this section, the maximum yard from the streetline of that street shall be 4.5 metres.

### 12.1.9. PERMITTED ENCROACHMENTS

- (a) Eaves, gutters, down spouts, cornices and other similar features shall be permitted encroachments into a required setback or stepback to a maximum of 0.6 m (1.96 ft).
- (b) Balconies shall be permitted encroachments into a setback or stepback at or above the level of the second storey of a building, provided that the protrusion of the balcony is no greater than 2.0 m (6.5 ft) from the building face and the aggregate length of such balconies does not exceed 50% of the horizontal width of that building face.
- (c) Underground parking garages shall not be exempt from minimum front and flanking side yard setbacks provided any portion of the garage within the minimum setback does not protrude above the surface of the ground by more than 0.6 m.

### 12.1.10. STREETWALL EXEMPTIONS

- (a) Notwithstanding Subsection 12.1.7(b) and (h), on lots that have a maximum front and/or flanking side yard setback a maximum of 20% of the width of a building's streetwall may be set back to recess past the maximum front and/or flanking side yard, provided:
  - i. the maximum width of any individual such recess shall be 9.0 m (29 ft);
  - ii. the setback past the maximum front and/or flanking yard shall not exceed 3.0 m (9.8 ft); and
  - iii. the minimum building stepback above the streetwall shall be 0.0 m for the recessed segment(s) of the streetwall.
- (b) Notwithstanding Subsection 12.1.7(e) and (f), segments of the streetwall may exceed the maximum streetwall height by one (1) storey or be lower than the minimum streetwall height by one (1) storey, provided:
  - i. the maximum width of any one segment of streetwall exceeding the maximum streetwall height or lower than the minimum streetwall height shall be 9.0 m (29 ft); and
  - ii. the combined width of all streetwall segments exceeding the maximum streetwall height or lower than the minimum streetwall height shall not exceed 20% of the total streetwall width of the building.

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### 12.1.11. BUILDING HEIGHT EXEMPTIONS

- (a) The maximum building height requirements in Subsection 12.1.7(d) shall not apply to a church spire, lightning rod, elevator enclosure, flag pole, antenna, HVAC equipment or enclosure of such equipment, skylight, chimney, landscape vegetation, clock tower, solar collector, guard rails, roof top cupola, parapet, cornices, eaves, stairwell, mechanical penthouse, or other similar features, provided that:
  - i. such features shall not be regularly accessible to building residents or tenants, except for stairwells and elevator enclosures providing access to outdoor rooftop amenity space; and
  - ii. the total of all such features shall occupy in the aggregate less 30% of the roof area of the roof of the building on which they are located.
- (b) The following features shall be stepped back a minimum of 2.0 m (6.5 ft) from the rooftop edge if they exceed the maximum building height:
  - i. guard rails unless they are constructed primarily of transparent glass;
  - ii. HVAC equipment;
  - iii. mechanical penthouses; and
  - iv. mechanical enclosures.

### 12.1.12. BUILDING DESIGN REQUIREMENTS

- (a) Buildings shall have a ground floor that differs in colour and texture of external materials compared to other floors or shall be articulated in the horizontal by at least two of the following:
  - i. A recess or protrusion in the building wall with a depth of at least 0.5 m (1.7 ft);
  - ii. A change in the building wall's height; or,
  - iii. A change in wall colour and material.
- (b) Pitch roofs are generally discouraged along lot lines identified on Map 12.1.1 as being a "Commercial Use Priority Lot Line", unless part of a distinct architectural style.
- (c) Green roofs and living walls are encouraged as a means of retaining storm water and to add to visual interest.

### 12.1.13. BUILDING ENTRANCES AND GLAZING

- (a) All main buildings shall have a minimum of one main entrance that faces the front lot line.
- (b) Within a Waterfront Mixed Use (WMU) Zone, where a lot line is identified on Map 12.1.1 as being a "Commercial Use Priority Lot Line" any building along that lot line shall have a main entrance a minimum of once every 27.0 m (88.5 ft).
- (c) Where a lot line is identified on Map 12.1.1 as being a "Commercial Use Priority Lot Line" the ground floor façade of any building along that lot line shall consist of a minimum of 50% (by wall area measured from finished floor to finished ceiling) transparent, non-reflective glazing.

## Appendix 'A'

### 12.1.14. RESIDENTIAL AMENITY SPACE

Every multiple attached dwelling building shall provide a dedicated indoor amenity room with a floor area of no less than 50.0 sq.m (538 sq.ft).

### 12.1.15. PARKING AND VEHICLE CIRCULATION

- (a) Parking garages as a main use and parking lots as a main use shall only be permitted if they are within areas identified as "Parking as a Main Use" on Map 12.1.1.
- (b) Automobile parking shall not be permitted in any yard adjacent to a lot line identified on Map 12.1.1 as being a "Commercial Use Priority Lot Line.
- (c) Bicycle parking shall be provided consistent with the requirements of Subsection 12.5.12.
- (d) Circulation lanes and windows for the service of customers within their automobiles ("drive-thrus") shall not be permitted.
- (e) Parkades should be integrated within a structure. The exterior facade and site development of these structures should be sensitive to and complement the existing streetscape or the streetscape vision if no development has occurred along that street.
- (f) Underground parking is encouraged. Where underground parking is proposed, access to the facility should be located and/or designed to minimize the visual impact of the garage entrance from the street.

## Appendix 'A'

### 12.1.16. SIGNAGE

- (a) Signage for residential buildings shall be low level and illuminated, indicating street address in discreet, graphic style. Signage should be closely related to the principal building entrance.
- (b) Signage for commercial buildings shall meet the following requirements:
  - i. Projecting signs shall not exceed 0.6 sq. m (6.4 sq. ft).
  - ii. Signs on the first storey shall not exceed 0.9 sq. m (9.7 sq. ft.).
  - iii. Signs on the second storey shall not exceed 1.1 sq. m (12.0 sq. ft.).
  - iv. Back-lit signs are not permitted, except to back light raised lettering signs only.
  - v. Signs shall have a minimum of 2.7 m (9.0 ft) of clearance between the surface of the ground and the bottom of the sign.
  - vi. No free-standing signs shall be permitted unless they are located within a front yard, are adequately integrated into landscaping plans, are ground mounted, and do not exceed 1.2 m (3.9 ft) in height and a maximum of 3.0 sq. m (32 sq. ft.).
  - vii. Signage should add diversity and interest to retail streets. Creative, artistic and contemporary signs that incorporate simplistic lettering are preferred.
  - viii. Signage shall be maintained regularly on an annual basis to ensure proper functionality and aesthetics.

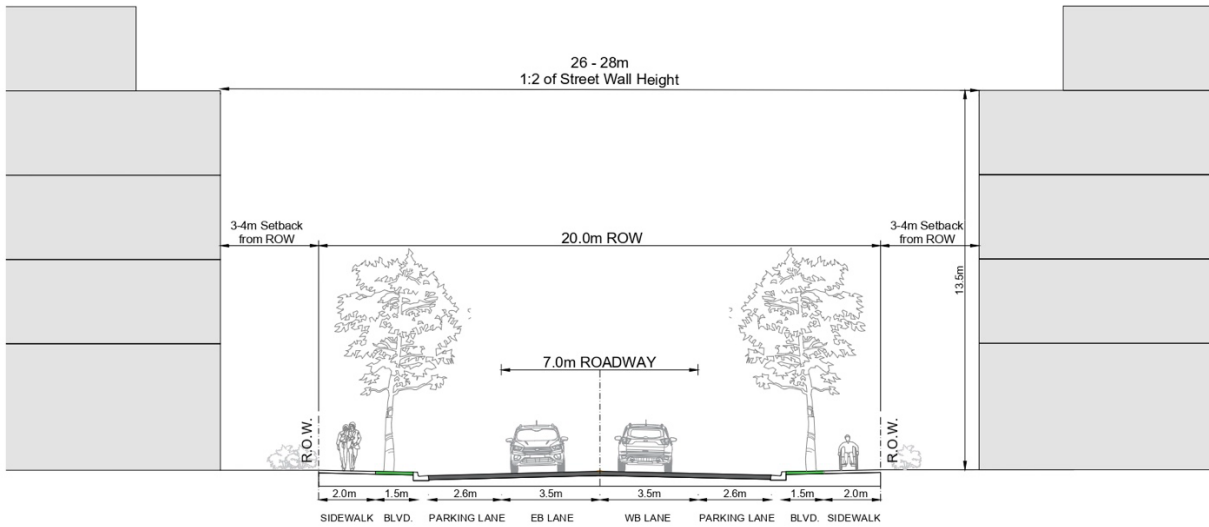
## Appendix 'A'

### 12.1.17. LANDSCAPING AND SITE DESIGN

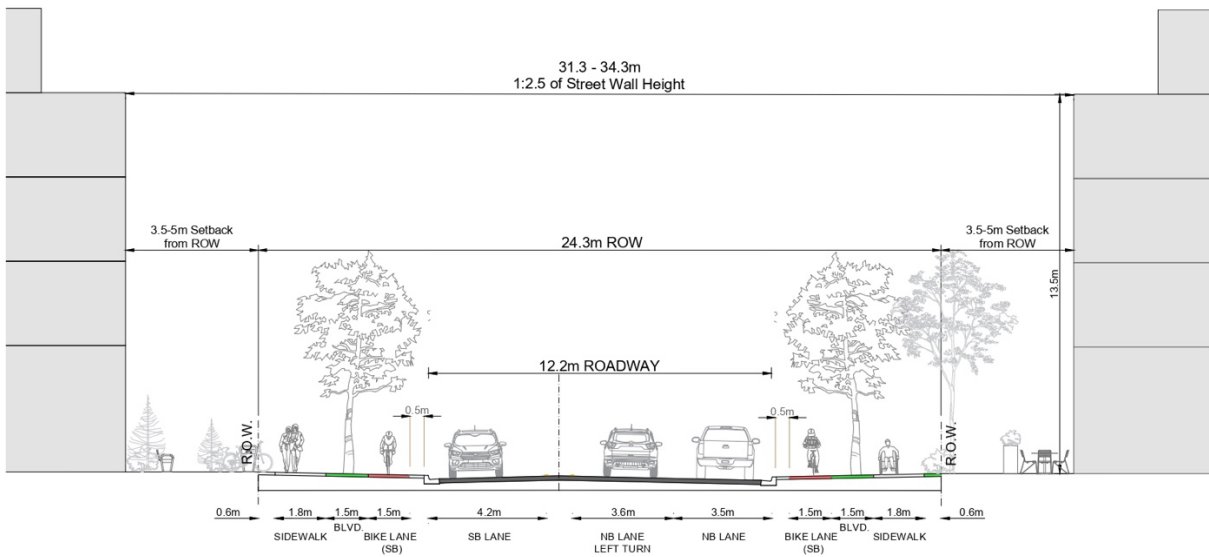
- (a) Where a multiple attached dwelling abuts an existing R1 or R2 Residential Zone, no existing trees greater than 100mm caliper shall be removed within 6.0 m (20 ft) of the boundary of the R1 or R2 Zone, unless in the sole discretion of the Development Officer a tree is deceased or is a risk to the health and safety of the public.
- (b) Solid waste storage shall not be located in the front yard or the flanking side yard, nor within any yard abutting an R1 or R2 Residential Zone.
- (c) Any exterior lighting or illuminated sign shall be so arranged as to deflect light away from adjacent R1 or R2 Zones and "Dark Sky Compliant".
- (d) A professionally prepared landscape plan shall be an integral part of the overall site design. The landscaping shall be maintained and replaced when necessary to ensure proper functionality and aesthetics:
  - i. enhance the pedestrian scale of the building;
  - ii. screen views of unsightly elements, such as utility boxes;
  - iii. soften hard edges visually;
  - iv. provide a transition between different use areas;
  - v. create an attractive aesthetic environment;
  - vi. create usable pedestrian areas;
  - vii. reduce energy consumption; and
  - viii. define specific areas and enhance architectural features.
- (e) Invasive or highly toxic plant species are prohibited as soft landscaping material. Native plants are preferred.
- (f) Site elements such as storage, shipping and loading areas, transformers and meters, bay doors, and garbage receptacles shall be visually screened from adjacent streets by vegetation or an opaque fence.
- (g) Garbage holding areas should be contained within buildings or, if adjacent to a building, be designed with adequate visual screening and pest prevention. In no case should large garbage containers be left exposed to the street.
- (h) All building entrances intended for the regular use by residents, tenants, or the public shall be safely connected to the nearest sidewalk or multi-use trail, or to the nearest road right-of-way in cases where neither a sidewalk nor multi-use trail is present, by a pedestrian pathway that is:
  - i. a minimum of 1.5 m (5.0 ft) wide;
  - ii. surfaced with concrete, natural stone pavers, or interlocking concrete pavers; and
  - iii. protected from traffic by physical barriers (curbing, planters, etc.) or by a grade differential between the pathway and the parking lot of 127 mm to 178 mm, except for portions of the pedestrian pathway crossing approximately perpendicular to a drive aisle.

# Appendix 'A'

## IMAGE 12.1.1 – Waterfront Mixed Use (WMU) Zone Road Cross Sections



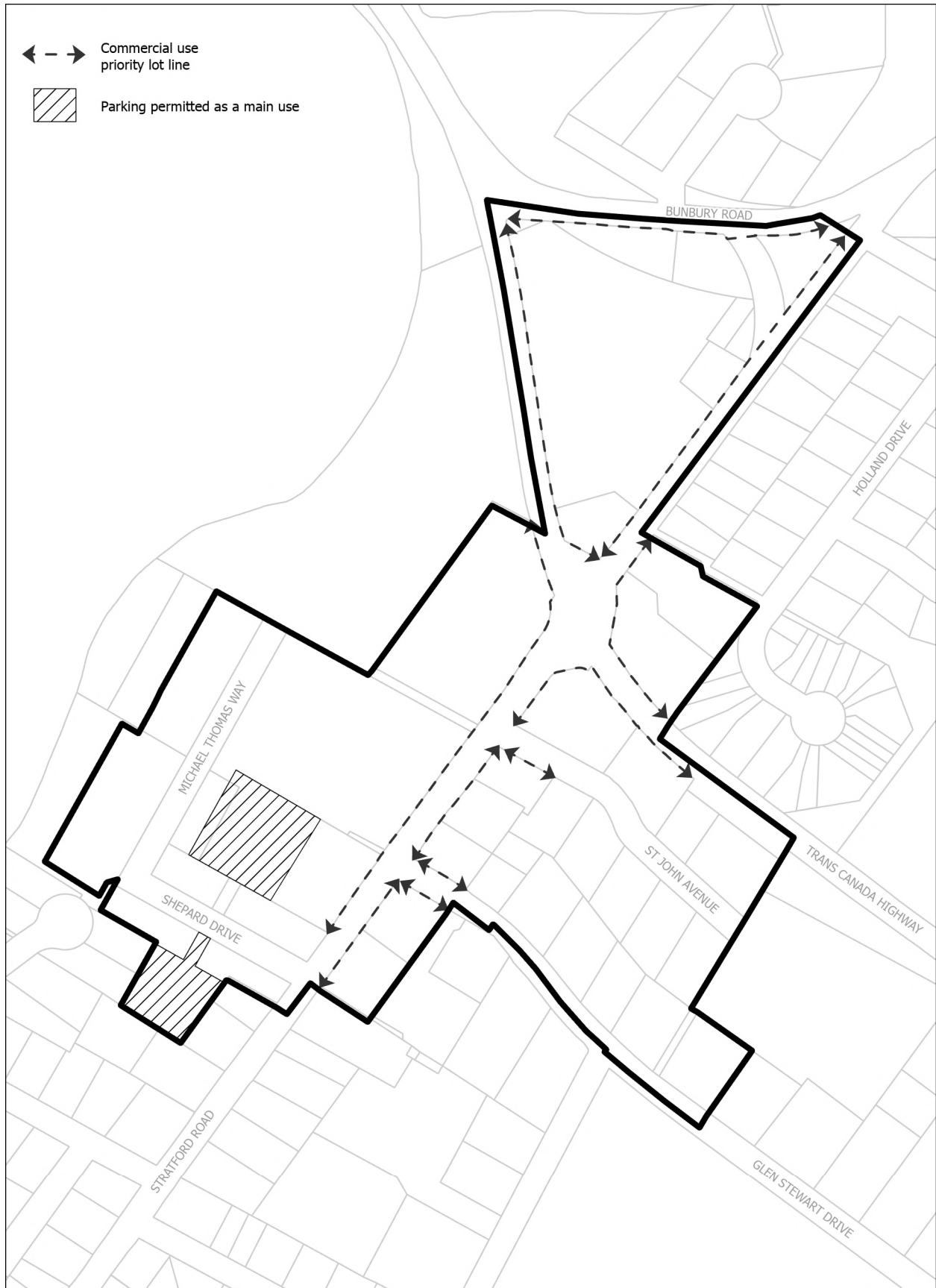
1 1:2 Ratio  
Cross Section – Stratford Road/Glen Stewart Drive  
SCALE: 1:150



2 1:2.5 Ratio  
Cross Section – Stratford Road/Michael Thomas Way  
SCALE: 1:150

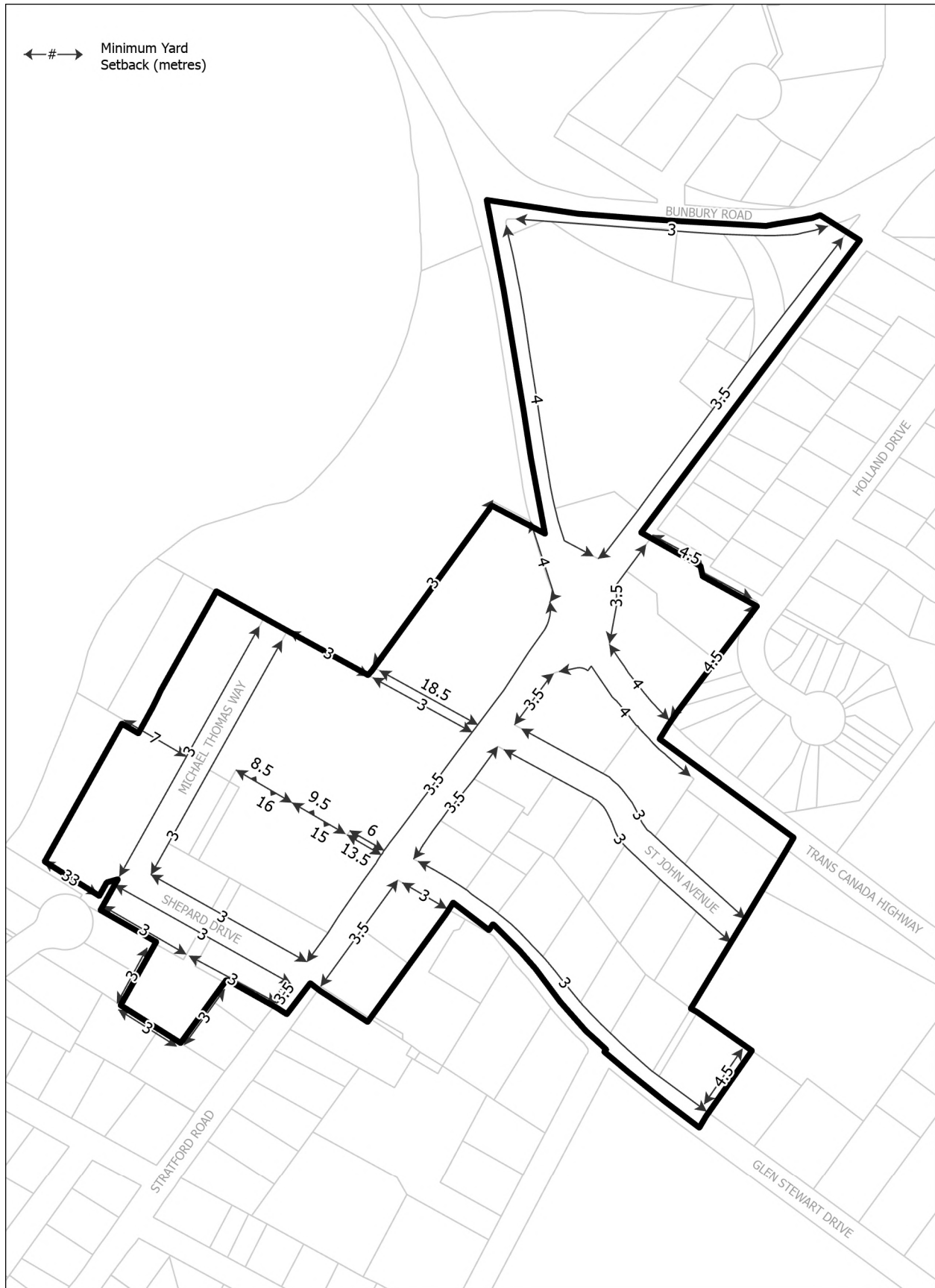
Appendix 'A'

MAP 12.1.1 – Waterfront Mixed Use (WMU) Zone Land Use Priority Areas



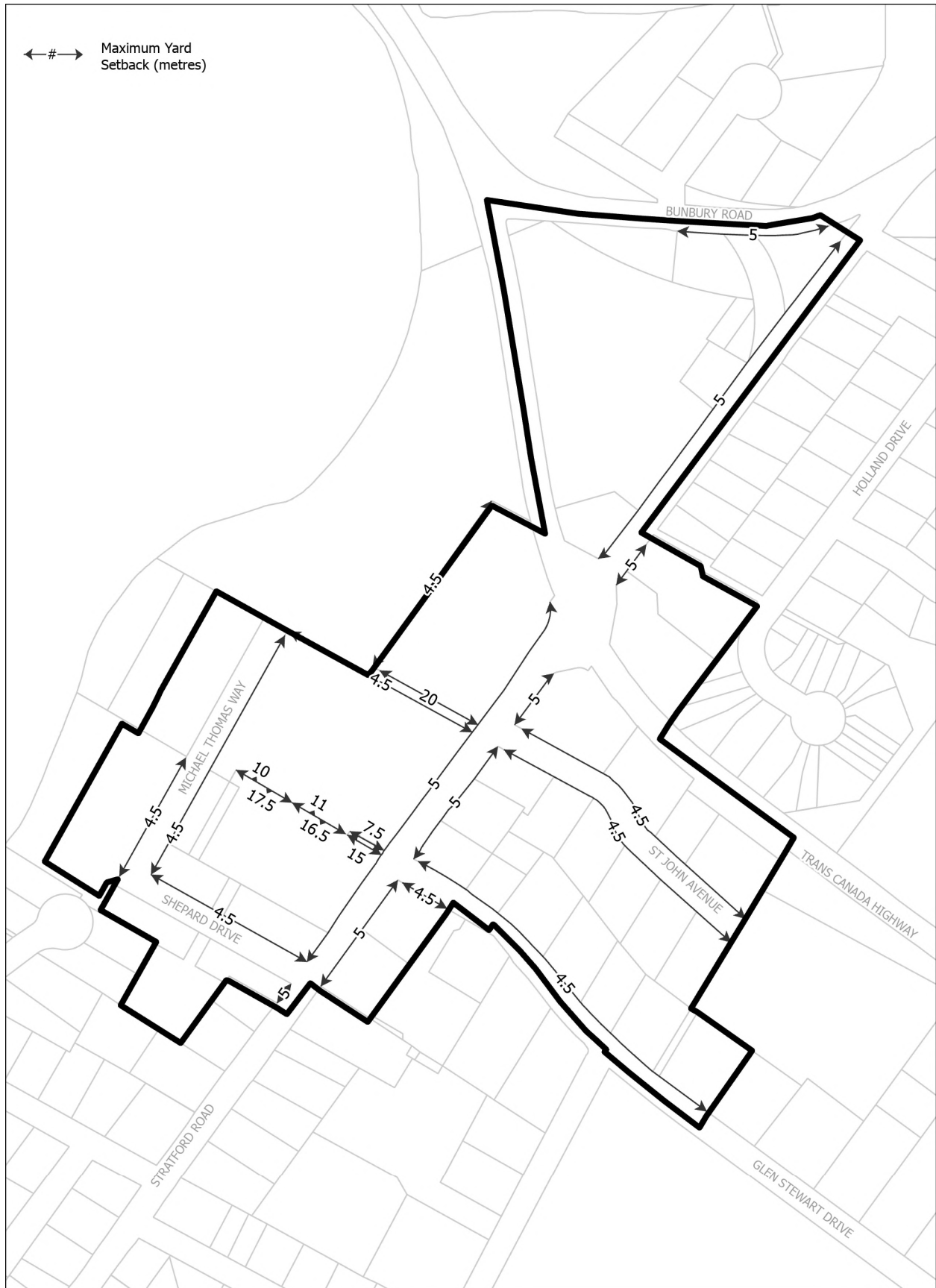
Appendix 'A'

MAP 12.1.2 – Waterfront Mixed Use (WMU) Zone Minimum Yard Requirements



Appendix 'A'

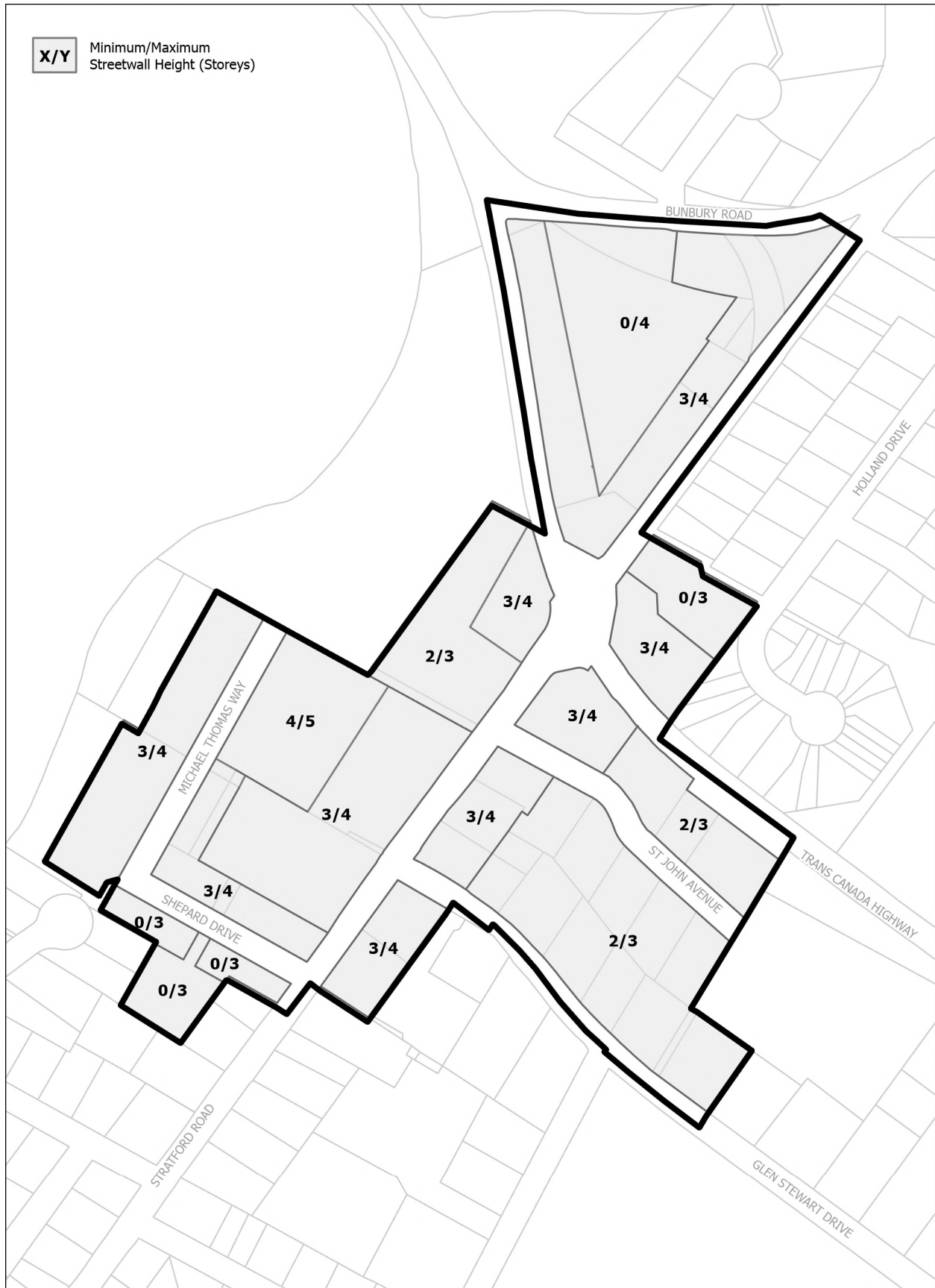
MAP 12.1.3 – Waterfront Mixed Use (WMU) Zone Maximum Yard Requirements





Appendix 'A'

MAP 12.1.4 – Waterfront Mixed Use (WMU) Zone Streetwall Height



# Appendix 'B'

