

TOWN OF STRATFORD

ZONING AND DEVELOPMENT BYLAW AMENDMENT

BYLAW NUMBER 45M

A Bylaw to amend the Zoning and Development Bylaw, Bylaw # 45M, General Amendments.

This bylaw is made under the authority of the *Planning Act* R.S.P.E.I. 1988, Cap. C-P-8.

BE IT ENACTED by the Council of the Town of Stratford that the Zoning and Development Bylaw, Bylaw #45, be amended as follows:

1. In Section 1.5.1, immediately after subclause (e) add:

“Notwithstanding Section 1.5.1. above, a Development Officer shall have the authority to approve or deny Development applications in the Core Mixed Use (CMU) Zone and Urban Core (UC) Zone in accordance with Section 7.6., Site Plan Approval Process, in this Bylaw; excluding developments which require preliminary approval of subdivisions of greater than five (5) Lots or where the extension of water mains, sewer mains or Streets is required.”

2. In the table within Section 1.6. Development Zones add the following to Section 12 immediately after *Mason Road Mixed Use* | *MRMU*:

		<i>Core Mixed Use</i>	<i>CMU</i>
		<i>Urban Core</i>	<i>UC</i>

3. In Section 2. Definitions change Amenity Area from:

AMENITY AREA - means an area of land set aside for the common use of residents for the purpose of visual improvement or relaxation, including but not limited to, communal or rooftop gardens, patios, balconies with a minimum depth of 2.0 m, communal lounges and recreational uses, courtyards, fountains, gazebos, landscaped open spaces, arboretums, plazas, atriums, or public seating areas.

To:

AMENITY AREA - means an area of land set aside for the common use of residents for the purpose of visual improvement or relaxation, including but not limited to, communal

or rooftop gardens, patios, visitor suites, balconies with a minimum depth of 2.0 m, communal lounges and recreational uses, courtyards, fountains, gazebos, landscaped open spaces, arboretums, plazas, atriums, or public seating areas.

4. Add “High-Rise Building” to Section 2. Definitions:

HIGH RISE BUILDING - means a Main Building that exceeds a height of 26.0 metres (85 feet) above the average finished Grade.

5. Add “Mid-Rise Building” to Section 2. Definitions:

MID-RISE BUILDING - means a main building that is greater than 11 metres (36 feet) in height, but no more than 20 metres (66 feet) in height.

6. Add “Streetline” to Section 2. Definitions:

STREETLINE - means a Lot Line that separates a Street from a Lot.

7. Add “Streetline Grade” to Section 2. Definitions:

STREETLINE GRADE - means the elevation of a Streetline at a point that is perpendicular to the horizontal midpoint of the Streetwall. Separate Streetline Grades shall be determined for each Streetwall segment that is greater than 12 metres (39 feet) in width or part thereof.

8. Add “Streetwall” to Section 2. Definitions:

STREETWALL - means the wall of a Building or portion of a wall facing a Streetline that is below the height of a specified Stepback, which does not include minor recesses for elements such as doorways or intrusions such as bay windows.

9. Add “Streetwall Height” to Section 2. Definitions:

STREETWALL HEIGHT - means the vertical distance between the top of the Streetwall and the Streetline Grade, extending across the width of the Streetwall.

10. Add “Streetwall Setback” to Section 2. Definitions:

STREETWALL SETBACK - means the distance between the Streetwall and the Streetline.

11. Add “Stepback” to Section 2. Definitions:

STEPBACK - means a specified horizontal recess from the top of a Streetwall, which shall be unobstructed from the Streetwall to the sky except as otherwise specified.

12. Add “Tall Mid-Rise Building” to Section 2. Definitions:

TALL MID-RISE BUILDING - means a Main Building that is greater than 20 metres (66 feet) in height, but no more than 26 metres (85 feet) in height.

13. After Section 7.5. *Payment of Fees*, including subsections, add new Section 7.6. *Site Plan Approval Process* (and graphic) and renumber the remainder of Section 7. accordingly:

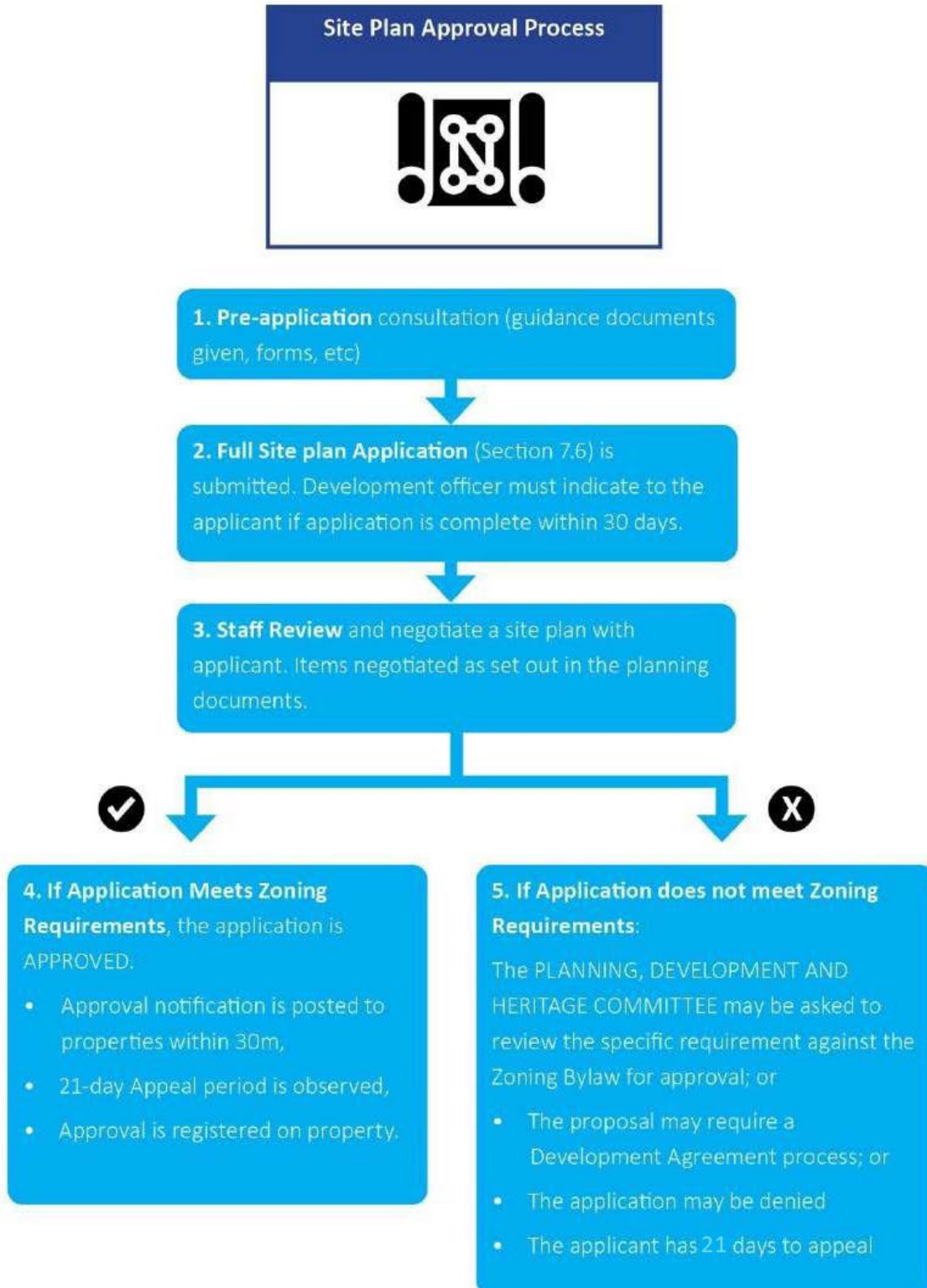
7.6. *SITE PLAN APPROVAL PROCESS*

7.6.1. All applications in the CMU and UC Zone shall follow the site plan approval process and shall be accompanied by:

- (a) a Town of Stratford Site Plan Approval Application Form and associated fee payment;*
- (b) a recent (no more than 10 years old) topographic survey by a surveying engineer. The survey must reflect existing topographic and boundary conditions;*
- (c) a site plan and conceptual grading plan drawn to scale and stamped by a landscape architect or engineer showing all buildings, entries, driveways, parking areas, walkways, stormwater features, fences, walls, landscape beds, trees and other important site information and dimensions and noting conformance with the zone standards in each zone;*
- (d) a stormwater management plan shall be prepared by a licenced professional engineer and shall be subject to approval by the Town and provincial department responsible for the Roads Act;*
- (e) A detailed erosion and sedimentation plan shall be prepared showing how erosion and sedimentation will be controlled and contained during construction;*
- (f) Architectural plans prepared by a registered Architect indicating compliance with the specific design requirements of the zones in this Bylaw including:*
 - i. Height, Streetwall height and Setbacks/Stepbacks pursuant to each zone;*
 - ii. Building elevations and articulation on all sides including signage and lighting;*
 - iii. Notes on building material intentions;*
 - iv. Building floor plans; and*
 - v. A perspective rendering of the building showing context and/or 3D Sketchup model.*
- (g) a servicing schematic prepared by a registered engineer to demonstrate that every building can be properly serviced.*
- (h) A shadow study performed at Equinox (Sept 21 and March 21) showing the hourly shade impacts of the building on surrounding properties.*

(i) Any other information the Development Officer may require to determine compliance with the zone requirements.

7.6.2. The Development Officer may waive the requirement to supply the above noted information if he/she deems it is not pertinent to the application.



14. In Section 8.31. Mixed Use, change Subsection 8.31.1. from:

Where any land or Building is used for more than one (1) purpose, all provisions of this Bylaw relating to each Use shall be satisfied. Where there is conflict, such as in the case of Lot size or Frontage, the most stringent standards shall apply.

To:

Where any land or Building is used for more than one (1) purpose, all provisions of this Bylaw relating to each Use shall be satisfied. Where there is conflict, such as in the case of Lot size or Frontage, the most stringent standards shall apply unless located in the CMU and UC Zone.

15. In Section 8.36. Dwelling Units within a Commercial Building, change Subsection 8.36.1. from:

Where a Dwelling Unit is proposed in connection with a commercial Use the following minimum standards shall apply:

To:

Where a Dwelling Unit is proposed in connection with a commercial use outside of the CMU and UC zones, the following minimum standards shall apply:

16. In the table within Section 10. Parking Provisions add the following immediately after *Other Institutional* | 1 Parking Space per 37 sq. m. (398 sq. ft.) of Floor Area:

<i>All uses in the CMU and UC Zones</i>	<i>0.5 Parking Spaces per Dwelling Unit 3 Parking Spaces per 93 sq. m. (1,000 sq. ft.) of Commercial or Office Space 0.75 Parking Spaces per guest room</i>
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17. Following Subclause 12.3.5.(c), add new Section 12.4 Core Mixed Use in its entirety as follows:

12.4 CORE MIXED USE (CMU)

12.4.1. GENERAL

Except as otherwise provided in this Bylaw, all Buildings and parts thereof erected, placed or altered or any land used in a CMU Zone shall conform with the provisions of this Section.

12.4.2. PERMITTED USES

No Building or part thereof and no land shall be used for purposes other than:

- i. Apartments (owned by a single Property Owner or as Condominiums);*
- ii. Apartment Buildings with commercial uses on the first floor;*
- iii. Town House Dwellings or Row House Dwellings (owned either individually or as Condominiums or by a single owner) up to 6 units per building adjacent or 12 units per building for stacked townhomes;*
- iv. Office Uses;*
- v. Office and/or residential Buildings with commercial uses on the first floor;*
- vi. Health Clinics;*
- vii. Child Care Centres;*
- viii. Community Care Facilities;*
- ix. Public and/or Private Assisted Care Facilities;*
- x. Institutional Buildings;*
- xi. Group Homes;*
- xii. Civic Centres;*
- xiii. Municipal Buildings;*
- xiv. Accessory Buildings/Structures;*
- xv. Recreational Uses;*
- xvi. Nursing Homes; and*
- xvii. Hotels.*

12.4.3. SERVICING

All Development in a CMU Zone shall be serviced by municipal sewer services and municipal water supply.

12.4.4. SITE PLAN APPROVAL: APPLICATION

(a) All applications for site plan approval in the CMU Zone shall follow the Site Plan Approval Submission requirements outlined in Section 7.6.

(b) Applications that cannot meet the Site Plan Approval requirements of this Zone, or the Variances permitted through Section 6.1., can apply for a Development Agreement through Section 7.9 of this Bylaw.

12.4.5 LOT REQUIREMENTS

(a) The following requirements shall apply to all Developments in a CMU Zone:

- i. Townhouse or Row House Dwellings;*

<i>Requirement</i>	<i>Standard</i>
<i>Minimum Lot Area</i>	<i>270 sq. m (3000 sq. ft.) per unit</i>
<i>Minimum Frontage</i>	<i>7.5 m (25 ft.) per unit</i>
<i>Minimum Front Yard Setback</i>	<i>3 m (10 ft.)</i>
<i>Minimum Rear Yard Setback</i>	<i>4.5 m (15 ft.)</i>
<i>Minimum Side Yard Setback</i>	<i>0 for joined, 2m (6ft) for end</i>
<i>Minimum Flankage Yard Setback</i>	<i>4.5 m (15 ft.)</i>
<i>Maximum Building Height</i>	<i>10.5 m (35 ft.)</i>

<i>Lot Coverage</i>	<i>40%</i>
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ii. Multi-unit and mixed use;

<i>Requirement</i>	<i>Standard</i>
<i>Minimum Lot Area</i>	<i>2,000 sq. m. (21,528 sq. ft.)</i>
<i>Minimum Frontage</i>	<i>30 m (100 ft.)</i>
<i>Minimum Front Yard Setback</i>	<i>See Map 12.2</i>
<i>Minimum Rear Yard Setback</i>	<i>15m (49 ft.) when abutting R1/R2 6 m (20 ft.) abutting any other zone</i>
<i>Minimum Side Yard</i>	<i>10m (33 ft) when abutting R1/R2 6 m (20 ft.) otherwise</i>
<i>Minimum Flankage Yard</i>	<i>See Map 12.2</i>
<i>Minimum Building Height</i>	<i>11 m (36 ft.)</i>
<i>Maximum Building Height</i>	<i>See Map 12.1</i>
<i>Streetwall Height</i>	<i>See Map 12.3</i>
<i>Streetwall Stepback</i>	<i>2.5 m (8 ft.)</i>
<i>Rear Stepback</i>	<i>3 m when abutting R1/R2</i>
<i>Max. building dimensions</i>	<i>70 m (230 ft) above ground</i>
<i>Unit Mix</i>	<i>min. 25% 2 or 3-bedroom units</i>
<i>Commercial & Office Uses</i>	<i>Permitted but not Required</i>
<i>Lot Coverage</i>	<i>Not Applicable</i>

- (b) *Where a Multi-Unit Building abuts an existing R1 or R2 Residential Zone, the minimum abutting Side Yard depth shall be 6 metres (20 feet) and the minimum Rear Yard depth shall be 15 metres (45 feet). No existing trees greater than 100mm caliper shall be removed within 6 metres (20 feet) of the boundary of any existing residential zone.*
- (c) *There shall be no outside storage or garbage storage in any yard abutting a residential zone. Any exterior lighting or illuminated sign shall be so arranged as to deflect light away from the adjacent residential zone.*
- (d) *A 1.83m (6 ft.) high opaque Fence must be constructed along all Rear Lot boundaries between abutting CMU lots and R1/R2 lots. Preference shall be given to a wood Fence. Fences shall either be built 0.9m (3 ft.) off the property line so they can be maintained, or a maintenance agreement shall be secured with the adjacent property owner so that the Fence can be periodically maintained.*
- (e) *The following architectural materials are prohibited in the CMU zone for Multi-Unit or Mixed-Use Buildings:*
- i. vinyl siding;*
 - ii. plastic;*

- iii. *plywood;*
- iv. *unfinished concrete;*
- v. *exterior insulation and finish systems where stucco is applied to;*
- vi. *rigid insulation; and*
- vii. *darkly tinted or mirrored glass, except for spandrel glass panels.*

12.4.6 BUILDING HEIGHT EXEMPTIONS

- (a) *The Maximum height requirements in Map 12.1 shall not apply to a church spire, lightning rod, elevator enclosure, flag pole, antenna, heating, ventilation, air conditioning equipment or enclosure of such equipment, skylight, chimney, landscape vegetation, clock tower, solar collector, roof top cupola, parapet, cornices, eaves, habitable penthouses or other similar features, provided that the total of all such features, shall occupy in the aggregate less 30% of the roof area of the roof of the building on which they are located.*
- (b) *A minimum 3 m (8 ft.) Stepback applies to the front, rear or side yard façade of a building for the following height exemptions:*
 - i. *Penthouses; and*
 - ii. *Mechanical enclosures.*

12.4.7. STREETWALLS

- (a) *The maximum Streetwall height in the CMU zone is shown on Map 12.3.*
- (b) *A minimum 2.5m (8 ft.) Stepback shall apply to buildings above the Streetwall height.*
- (c) *Streetwalls along adjacent sloping streets may step up the grade following the street grade in 12m (39 ft.) horizontal building intervals.*
- (d) *The Streetwall width may be reduced to no less than 70% of the width of the building abutting a Streetline, allowing the Mid-Rise or High-Rise portion of the buildings to extend to the ground. Where this occurs, the building shall provide a 2m (6.5 ft.) wide wind canopy as part of the architectural design to mitigate the downdraft from that portion of the building that has no Streetwall Stepback.*

12.4.8. REAR STEPBACKS

- (a) *Where any CMU rear yard abuts an R1/R2 zone, any portion of any Main Building above the height of the Streetwall shall have a minimum Stepback of 2m (6.5 ft.) unless the building is located more than 30m (98 ft.) from the rear Lot Line.*
- (b) *This rear Stepback may be reduced to 60% the width of the building, allowing the Mid-Rise portion of the building to extend to the ground.*

12.4.9. PERMITTED ENCROACHMENTS

- (a) Eaves, gutters, down spouts, cornices and other similar features shall be permitted encroachments into a required Setback, Stepback or separation distance to a maximum of 0.6m (2 ft.).*
- (b) Balconies shall be permitted encroachments into a Setback, Stepback or separation distance, at or above the level of the second storey of a building, provided that the protrusion of the balcony is no greater than 2m (6.5 ft) from the building face and the aggregate length of such balconies does not exceed 50% of the horizontal width of that building face.*
- (c) Underground parking structures are not required to meet the minimum Front, Side or Rear Setbacks, providing they do not protrude more than 0.6 m (2 ft.) above the average finished Grade in any Front, Side or Rear Yard.*

12.4.10. BUILDING ARTICULATION

- (a) Building massing should be varied by employing variations to architectural style such as wall breaks, facade materials, recessed and projection areas, roof changes, distinct colour schemes and roof treatments.*
- (b) Streetwalls that abut a front or flanking yard, shall be divided into distinct sections no less than 12 metres in width, extending from the ground to at least one floor below the top of the Streetwall.*
- (c) Each distinct section required under Subsection (b) shall be differentiated from abutting distinct sections by using a minimum of two of the following methods:*
 - i. different colours;*
 - ii. different materials;*
 - iii. different textures;*
 - iv. living walls;*
 - v. projections not less than 0.15m (1 ft.) deep; or*
 - vi. recesses not less than 0.15m (1ft.) deep.*
- (d) Pedestrian entrances in the Streetwall shall be distinguished from the Streetwall by using a minimum of two of the following methods:*
 - i. different colours;*
 - ii. different materials;*
 - iii. projections not less than 0.15m (1 ft.) deep;*
 - iv. recesses not less than 0.15m (1ft.) deep;*
 - v. a change in height; or*
 - vi. a change in the roofline.*

12.4.11. CMU ZONE PARKING EXEMPTIONS

- (a) *In addition to the parking requirements outlined in section 10 of the Zoning and Development Bylaw, the CMU zone requires the following additional standards*
 - i. *Parking shall not be located between the building and the street with the exception of porte-cocheres or drop off lanes for main lobbies.*
 - ii. *parking spaces shall not be immediately adjacent to doors or passageways from buildings to allow a walkway connection from the entry to the parking lot;*
- (b) *For all buildings greater than 13m (42 ft.) in height, no less than 50% of the parking shall be located underground.*

12.4.12. BICYCLE PARKING:

- (a) *Bicycle parking shall not be required for the following land uses: townhouses, semis/duplex, accessory buildings, Child Care Centres.*
- (b) *The minimum number of required bicycle parking spaces for other uses in this zone shall be as follows:*
 - i. *Multiple Unit Dwelling (four or more dwelling units) - 0.25 spaces per dwelling unit with at least 60% Class A, and the remainder as Class B*
 - ii. *All other uses - 1 space per 500 sq. m. GFA with at least 40% Class A, and the remainder as Class B*
- (c) *Class A Requirements*
 - i. *Indoor bike parking spaces shall have a minimum door opening of 0.6 metres, be no less than 0.6 metres long and 1.2 metres in height, with an aisle width of not less than 1.5 metres; and*
 - ii. *Bicycle rooms and cages for the storage of multiple bicycles shall contain racks so that individual bicycles are supported.*
- (d) *Class B Requirements*
 - i. *covered parking spaces, in which bicycles are protected from precipitation, shall be located a maximum of 50 metres from an entrance;*
 - ii. *uncovered parking shall be located a maximum of 30 metres from an entrance;*
 - iii. *parking spaces shall be located at ground level and visible to passers-by or building security personnel;*
 - iv. *where parking spaces are not visible to passers-by, directional signage shall be provided;*

- v. *all bicycle parking spaces shall be located on hard surfaces in areas that are visible and well illuminated.*
- vi. *parking spaces shall have a minimum overhead clearance of 2 metres;*
- vii. *access to and exit from parking spaces shall be provided with an aisle of not less than 1.2 metres in width, to be provided and maintained beside or between each row of bicycle parking;*
- viii. *parking spaces shall be located a minimum of 0.6 metres from any wall or other obstruction; and*
- ix. *parking spaces shall be a minimum of 0.6 metres wide and 2 metres long.*

12.4.13. MULTI-UNIT AMENITY SPACE REQUIREMENTS

- (a) *Any multi-unit building shall provide Amenity Area, at a rate of 5.0 square metres per dwelling unit, for use by the building's residents. No less than 50% of all required Amenity Area shall be provided within the building.*
- (b) *Every building in the CMU zone shall provide a dedicated indoor amenity room(s) no less than 1.5 sq.m. per unit (e.g. a 100 unit building must provide 150 sq.m. of indoor amenity room area). Amenity rooms shall not be smaller than 80 sq. m. The indoor amenity room applies to the Amenity Area requirements.*
- (c) *An addition to a Multi-Unit Building shall be required to provide Amenity Area, for the addition only, at a rate of 5.0 sq.m. per dwelling unit, for use by the building's residents. No less than 50% of all required Amenity Area shall be provided within the building.*
- (d) *Residential uses shall have direct access to the exterior ground level separate from any non-residential use.*
- (e) *All At-grade residential units must have front door walk-out access for all units fronting Streetlines. These groundfloor units shall have at least 6 sq.m. of landscape Amenity Area per unit. These units shall use walls, landscape buffers, fencing or grade changes to provide privacy from adjacent sidewalks.*

12.4.14. LANDSCAPING FOR FLAT ROOFS

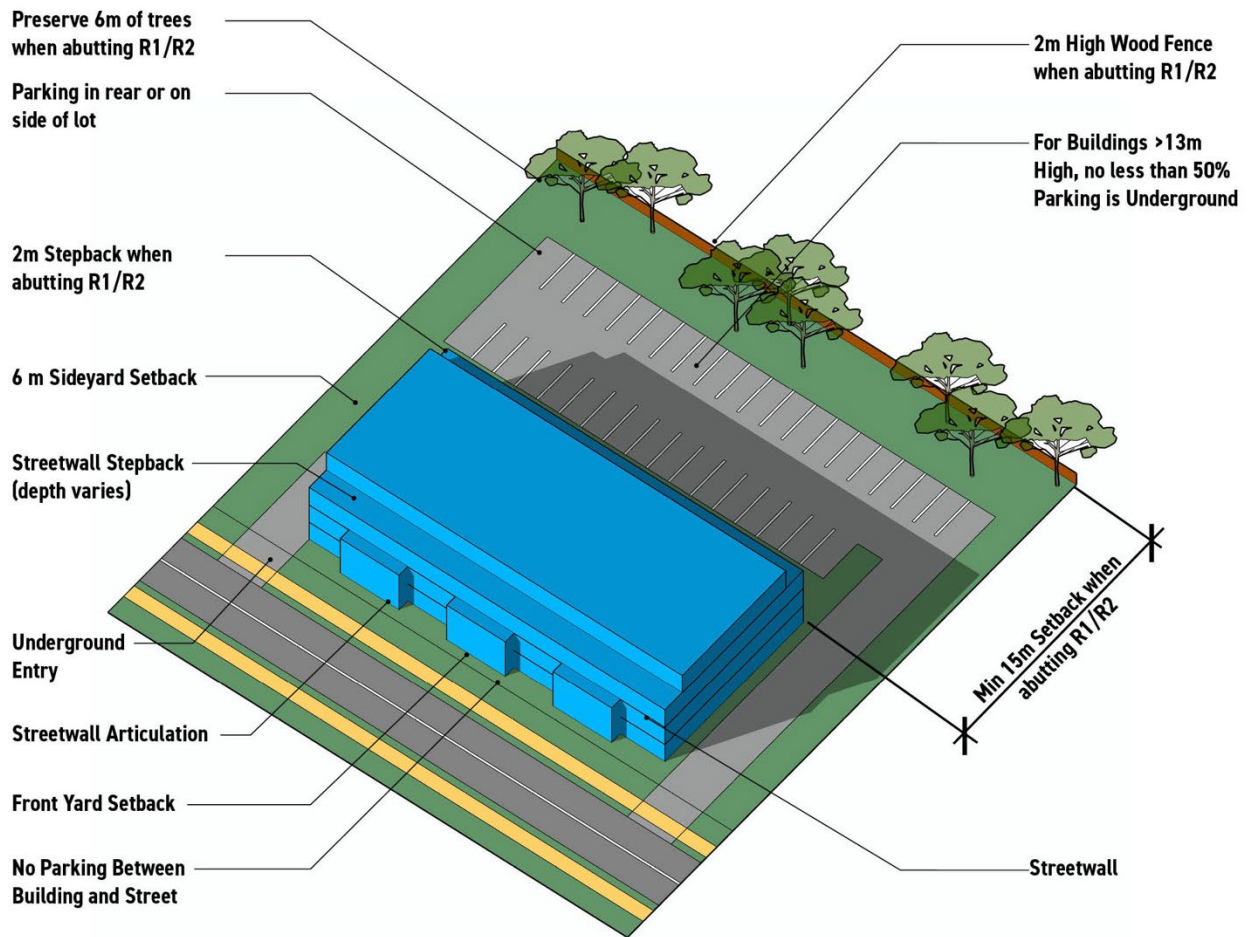
- (a) *All buildings greater than 15m (49 ft.) high shall have flat roofs.*
- (b) *All buildings with a flat roof shall provide no less than 30% of the roof area as soft landscaping. These landscaped areas need not be fully accessible by building tenants.*

12.4.15. GENERAL LANDSCAPE REQUIREMENTS

- (a) In any CMU zone, any portion of a front, flanking, side, or rear yard that is not used for driveways, parking, off-street loading spaces, walkways, wheelchair ramps, stairs, or accessory structures shall be hard landscaped or soft landscaped.*
- (b) Invasive or highly toxic plant species are prohibited as soft landscaping material. Native plants are preferred.*
- (c) Trees shall be planted at a rate of not less than 2.5 (60mm caliper) or greater per every 500 sq. m. of groundfloor area of the building.*
- (d) Trees in parking lots shall include 1 tree per island if parking lot exceeds 24 cars.*
- (e) Each commercial unit fronting on a street shall be connected to the street sidewalk by a min 1.8m wide sidewalk.*
- (f) Any parking between the building and the parking lot shall include a continuous 1.8m wide sidewalk along either the building or the parking spaces.*
- (g) All main entries to residential buildings or offices shall be connected to the street and/or parking lot with a minimum 2m wide sidewalk.*
- (h) Shrub beds shall be planted at not less than 2 sq. m. for every 500 sq. m. of ground floor area of the building. Stormwater gardens can be considered as part of this calculation. Rooftop plantings may be used to meet this requirement.*
- (i) For CMU properties that abut R1/R2 zones, trees (greater than 60mm caliper) shall be planted along the rear lot line at a frequency of no less than 1 tree per 10m of rear lot line. Tree spacing can be randomized.*
- (j) All soft landscaping specified on a landscape plan shall comply with the latest edition of the Canadian Landscape Standard.*
- (k) Site elements such as storage, shipping and loading areas, transformers and meters, bay doors and garbage receptacles shall be screened from adjacent streets.*
- (l) Garbage holding areas should be contained within buildings or, if adjacent to a building, be designed with adequate screening. In no case should large garbage containers be left exposed to the street. These areas are to be properly ventilated, enclosed behind operable doors and equipped for full sanitary management.*

12.4.16. STREET TYPES

All new Roads in CMU Zone shall follow the standards set out in Map 12.4 and the accompanying street standards (section 12.5.17).



Typical CMU Zone Diagram

18. Following Subsection 12.4.16. and Typical CMU Zone Diagram, add new Section 12.4 Core Mixed Use in its entirety as follows:

12.5. URBAN CORE ZONE (UC)

12.5.1. GENERAL

Except as otherwise provided in this Bylaw, all buildings and parts thereof erected, placed or altered or any land used in a UC Zone shall conform with the provisions of this Section.

12.5.2. PERMITTED USES

No building or part thereof and no land shall be used for purposes other than:

- i. Apartments (owned by a single Property Owner or as Condominiums);*
- ii. Apartment Buildings with commercial uses on the first floor;*
- iii. Town House Dwellings or Row House Dwellings (owned either individually or as Condominiums or by a single owner) up to 6 units per building adjacent or 12 units per building for stacked townhomes;*
- iv. Office Uses;*

- v. *Office Buildings with commercial uses on the first floor;*
- vi. *Health Clinics;*
- vii. *Child Care Centres;*
- viii. *Community Care Facilities;*
- ix. *Public and/or Private Assisted Care Facilities;*
- x. *Institutional Buildings;*
- xi. *Group Homes;*
- xii. *Civic Centres;*
- xiii. *Municipal Buildings;*
- xiv. *Accessory Buildings/Structures;*
- xv. *Recreational Uses;*
- xvi. *Nursing Homes; and*
- xvii. *Hotels*

12.5.3. **SERVICING**

All Development in a UC Zone shall be serviced by municipal sewer services and municipal water supply.

12.5.4. **SITE PLAN APPROVAL: APPLICATION**

- (a) *All applications for site plan approval in the UC Zone shall follow the Site Plan Approval Submission requirements outlined in Section 7.6*
- (b) *Applications that cannot meet the Site Plan Approval requirements of this Zone, or the variances permitted through Section 6.1, can apply for a development agreement through Section 7.9 of this bylaw.*

12.5.5. **LOT REQUIREMENTS**

- (a) *The following requirements shall apply to all Developments in a UC Zone:*
 - i. *Multi-unit and mixed-use;*

Requirement	Standard
<i>Minimum Lot Area</i>	<i>2,000 sq. m (21,528 sq. ft.)</i>
<i>Minimum Frontage</i>	<i>30 m (100 ft.)</i>
<i>Minimum Front Yard Setback</i>	<i>See Map 12.2</i>
<i>Minimum Rear Yard Setback</i>	<i>6 m (19.7 ft.)</i>
<i>Minimum Side Yard</i>	<i>6 m (19.7 ft.)</i>

<i>Minimum Building Height</i>	<i>11 m (36 ft)</i>
<i>Maximum Mid-Rise Height</i>	<i>As noted on Map 12.1 or 18m otherwise</i>
<i>Maximum Tower Height</i>	<i>See Map 12.1</i>
<i>Streetwall Height</i>	<i>See Map 12.3</i>
<i>Min Groundfloor Height</i>	<i>4 m (13 ft.)</i>
<i>Streetwall Stepback</i>	<i>3 m (10 ft.)</i>
<i>Sidyard Stepback</i>	<i>2.5 m (8 ft.)</i>
<i>Maximum Building Dimensions</i>	<i>80 m (262 ft.) above ground</i>
<i>Maximum Tower Dimension (above 20m (65 ft.) high)</i>	<i>35m x 35m and no more than 800 sq. m. tower plate size</i>
<i>Minimum Tower side or rear yard setback</i>	<i>12.5 m (41 ft.)</i>
<i>Minimum Tower Separation</i>	<i>25 m (82 ft.)</i>
<i>Unit Mix</i>	<i>Min 25% 2 or 3-bedroom units</i>
<i>Commercial uses</i>	<i>No less than 50% of groundfloor</i>
<i>Office Uses</i>	<i>Permitted but not required</i>
<i>% Underground Parking</i>	<i>No less than 70%</i>

(b) Stand-alone commercial buildings are not permitted in the UC zone, unless approved by Council.

(c) The following architectural materials are prohibited in the UC zone for multi-unit or mixed-use housing:

- i. vinyl siding;*
- ii. plastic;*
- iii. plywood;*
- iv. unfinished concrete;*
- v. exterior insulation and finish systems where stucco is applied to;*
- vi. rigid insulation; and*

- vii. *darkly tinted or mirrored glass, except for spandrel glass panels.*

12.5.6. BUILDING HEIGHT EXEMPTIONS

- (a) *The Maximum height requirements in Map 12.1 shall not apply to a church spire, lightning rod, elevator enclosure, flag pole, antenna, heating, ventilation, air conditioning equipment or enclosure of such equipment, skylight, chimney, landscape vegetation, clock tower, solar collector, roof top cupola, parapet, cornices, eaves, habitable penthouses or other similar features, provided that the total of all such features, shall occupy in the aggregate less 30% of the roof area of the roof of the building on which they are located.*
- (b) *A minimum 3m (10 ft.) Stepback applies to the front, rear or side yard façade of a building for the following height exemptions:*
 - i. *Penthouses*
 - ii. *Mechanical enclosures*

12.5.7. STREETWALLS

- (a) *The maximum Streetwall height in the UC zone is Shown on Map 12.3.*
- (b) *A minimum 3m (10 ft.) Stepback shall apply to buildings above the Streetwall height.*
- (c) *Streetwalls along adjacent sloping streets may step up the grade following the street grade in 12m (39 ft.) horizontal building intervals.*
- (d) *The Streetwall width may be reduced to no less than 70 % of the width of the building abutting a Streetline, allowing the midrise or High-Rise portion of the buildings to extend to the ground. Where this occurs, the building shall provide a 2m (6.5 ft.) wide wind canopy as part of the architectural design to mitigate the downdraft from that portion of the building that has no Streetwall Stepback.*

12.5.8. SIDE STEPBACKS

- (a) *Any portion of any Main Building above the height of the Streetwall shall have a minimum side Stepback of 2.5m (8 ft.) unless the building is located more than 30m (98 ft.) from the side Lot Line.*
- (b) *The side Stepback may be reduced to 80% the width of the building along the side yard, allowing the midrise portion of the building to extend to the ground.*

12.5.9. BUILDING ARTICULATION

- (a) *Building massing should be varied by employing variations to architectural style such as wall breaks, facade materials, recessed and projection areas, roof changes, distinct colour schemes and roof treatments.*

- (b) *Streetwalls that abut a Front or Flanking Yard, shall be divided into distinct sections no less than 12m (39 ft.) in width, extending from the ground to at least one floor below the top of the Streetwall.*
- (c) *Each distinct section required under Subsection (b) shall be differentiated from abutting distinct sections by using a minimum of two of the following methods:*
 - i. *different colours;*
 - ii. *different materials;*
 - iii. *different textures;*
 - iv. *living walls;*
 - v. *projections not less than 0.15m (1ft.) deep; or*
 - vi. *recesses not less than 0.15m (1ft.) deep.*
- (d) *Pedestrian entrances in the Streetwall shall be distinguished from the Streetwall by using a minimum of two of the following methods:*
 - i. *different colours;*
 - ii. *different materials;*
 - iii. *projections not less than 0.15m (1ft.) deep;*
 - iv. *recesses not less than 0.15m (1ft.) deep;*
 - v. *a change in height; or*
 - vi. *a change in the roofline.*

12.5.10. PERMITTED ENCROACHMENTS

- (a) *Eaves, gutters, down spouts, cornices and other similar features shall be permitted encroachments into a required setback, Stepback or separation distance to a maximum of 0.6 metres (2 ft.).*
- (b) *Balconies shall be permitted encroachments into a setback, Stepback or separation distance, at or above the level of the second storey of a building, provided that the protrusion of the balcony is no greater than 2 metres (6.5 feet) from the building face and the aggregate length of such balconies does not exceed 50% of the horizontal width of that building face.*
- (c) *Underground parking structures are not required to meet the minimum front, side or rear setbacks, providing they do not protrude more than 0.6 metres (2 ft.) above the average finished grade in any front, side or rear yard.*

12.5.11. UC ZONE PARKING REQUIREMENTS

- (a) *In addition to the parking requirements outlined in Section 10 of the Zoning and Development Bylaw, the UC zone requires the following additional standards:*
 - i. *Parking shall not be located between the building and the street with the exception of porte-cocheres or drop off lanes for main lobbies; and*
 - ii. *parking spaces shall not be immediately adjacent to main entry/exit doors from buildings to allow a walkway connection from the entry to the parking lot.*
- (c) *No less than 70% of the parking in the UC Zone shall be located underground.*

12.5.12. BICYCLE PARKING

- (a) *The minimum number of required bicycle parking spaces for this zone shall be as follows:*
 - i. *Multiple Unit Dwelling (four or more dwelling units) - 0.25 spaces per dwelling unit with at least 60% Class A, and the remainder as Class B*
 - ii. *All other uses - 1 space per 500 sq. m. GFA with at least 40% Class A, and the remainder as Class B*
- (b) *Class A Requirements*
 - i. *Indoor bike parking spaces shall have a minimum door opening of 0.6 metres, be no less than 0.6 metres long and 1.2 metres in height, with an aisle width of not less than 1.5 metres; and*
 - ii. *Bicycle rooms and cages for the storage of multiple bicycles shall contain racks so that individual bicycles are supported.*
- (c) *Class B Requirements*
 - i. *covered parking spaces, in which bicycles are protected from precipitation, shall be located a maximum of 50 metres from an entrance;*
 - ii. *uncovered parking shall be located a maximum of 30 metres from an entrance;*
 - iii. *parking spaces shall be located at ground level and visible to passers-by or building security personnel;*
 - iv. *where parking spaces are not visible to passers-by, directional signage shall be provided;*
 - v. *all bicycle parking spaces shall be located on hard surfaces in areas that are visible and well illuminated.*

- vi. *parking spaces shall have a minimum overhead clearance of 2 metres;*
- vii. *access to and exit from parking spaces shall be provided with an aisle of not less than 1.2 metres in width, to be provided and maintained beside or between each row of bicycle parking;*
- viii. *parking spaces shall be located a minimum of 0.6 metres from any wall or other obstruction; and*
- ix. *parking spaces shall be a minimum of 0.6 metres wide and 2 metres long.*

12.5.13. MULTI-UNIT AMENITY AREA REQUIREMENTS

- (a) *Any Multi-Unit Building shall provide resident Amenity Area, at a rate of 10.0 square metres (33 sq. ft.) per Dwelling Unit, for use by the building's residents. No less than 50% of the required amenity space shall be provided outside the building at-grade as public open space. This public space shall meet the following requirements:*
 - i. *At least 30% of the public open space area shall be hardscape using pavers, concrete, stone, or crushed stone.*
 - ii. *A high-quality landscape design shall be prepared by a registered landscape architect to provide quality space for residents.*
 - iii. *The space shall be lit using dark sky compliant lighting to a level of at least 1 candlefoot throughout the space.*
- (b) *Every building in the UC zone shall provide a dedicated indoor amenity room(s) no less than 1.5 sq.m. per Unit (e.g. a 100 unit building must provide 150 sq.m. of indoor amenity room Area. Amenity rooms shall not be smaller than 80 sq.m. The indoor amenity room applies to the amenity Area requirements in (a) above.*
- (c) *An addition to an existing Multi-Unit Building shall be required to provide Amenity Area, for the addition only, at a rate of 10.0 sq. m. per Dwelling Unit, for use by the building's residents.*
- (d) *All At-grade residential units must have front door walk-out access for all units fronting Streetlines. These groundfloor units shall have at least 12 sq.m. of landscape Amenity Area per Unit. These Units shall use walls, landscape buffers, fencing or grade changes to provide privacy from adjacent sidewalks.*

12.5.14. LANDSCAPING FOR FLAT ROOFS

- (a) *All buildings in the UC Zone shall have flat roofs.*
- (b) *All buildings with a flat roof shall provide no less than 30% of the roof area as soft landscaping. These landscaped areas need not be fully accessible by building tenants.*

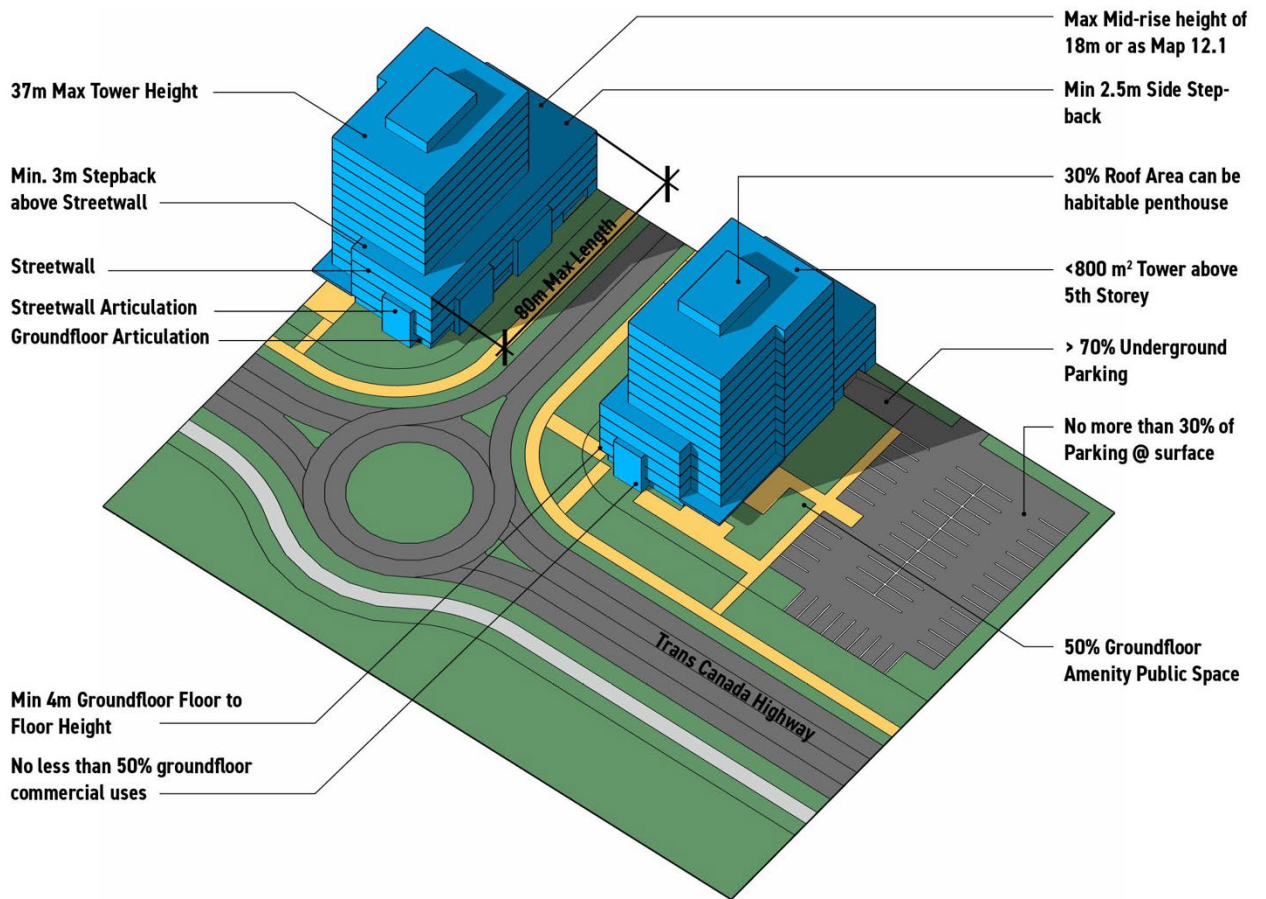
- (c) *All buildings in the UC Zone shall provide resident accessible Amenity Area on the roof no less than 30% of the roof area.*

12.5.15. GENERAL LANDSCAPE REQUIREMENTS

- (a) *In any UC zone, any portion of a front, flanking, side, or rear yard that is not used for driveways, parking, off-street loading spaces, walkways, wheelchair ramps, stairs, or accessory structures shall be hard landscaped or soft landscaped.*
- (b) *All underground parking podiums (excluding parking podiums between the building and street, side yard or rear yard) shall be designed as public plaza spaces accessible to the general public.*
- (c) *Invasive or highly toxic plant species are prohibited as soft landscaping material. Native plants are preferred.*
- (d) *Trees in parking lots shall include 1 tree per island if parking lot exceeds 24 cars.*
- (e) *Each commercial unit fronting on a street shall be connected to the street sidewalk by a min 1.8m wide sidewalk.*
- (f) *Any parking between the building and the parking lot shall include a continuous 1.8m wide sidewalk along either the building or the parking spaces.*
- (g) *All main entries to residential buildings or offices shall be connected to the street and/or parking lot with a minimum 2m wide sidewalk.*
- (h) *Shrub beds shall be planted at not less than 2 m² for every 500 m² of ground floor area of the building plate. Stormwater gardens can be considered as part of this calculation. Rooftop plantings may be used to meet this requirement.*
- (i) *For CMU properties that abut R1/R2 zones, trees (greater than 60mm caliper) shall be planted along the rear lot line at a frequency of no less than 1 tree per 10m of rear lot line. Tree spacing can be randomized.*
- (j) *All soft landscaping specified on a landscape plan shall comply with the latest edition of the Canadian Landscape Standard.*
- (k) *Site elements such as storage, shipping and loading areas, transformers and meters, bay doors and garbage receptacles shall be screened from adjacent streets*
- (l) *Garbage holding areas should be contained within buildings or, if adjacent to a building, be designed with adequate screening. In no case should large garbage containers be left exposed to the street. These areas are to be properly ventilated, enclosed behind operable doors and equipped for full sanitary management.*

12.5.16. STREET TYPES

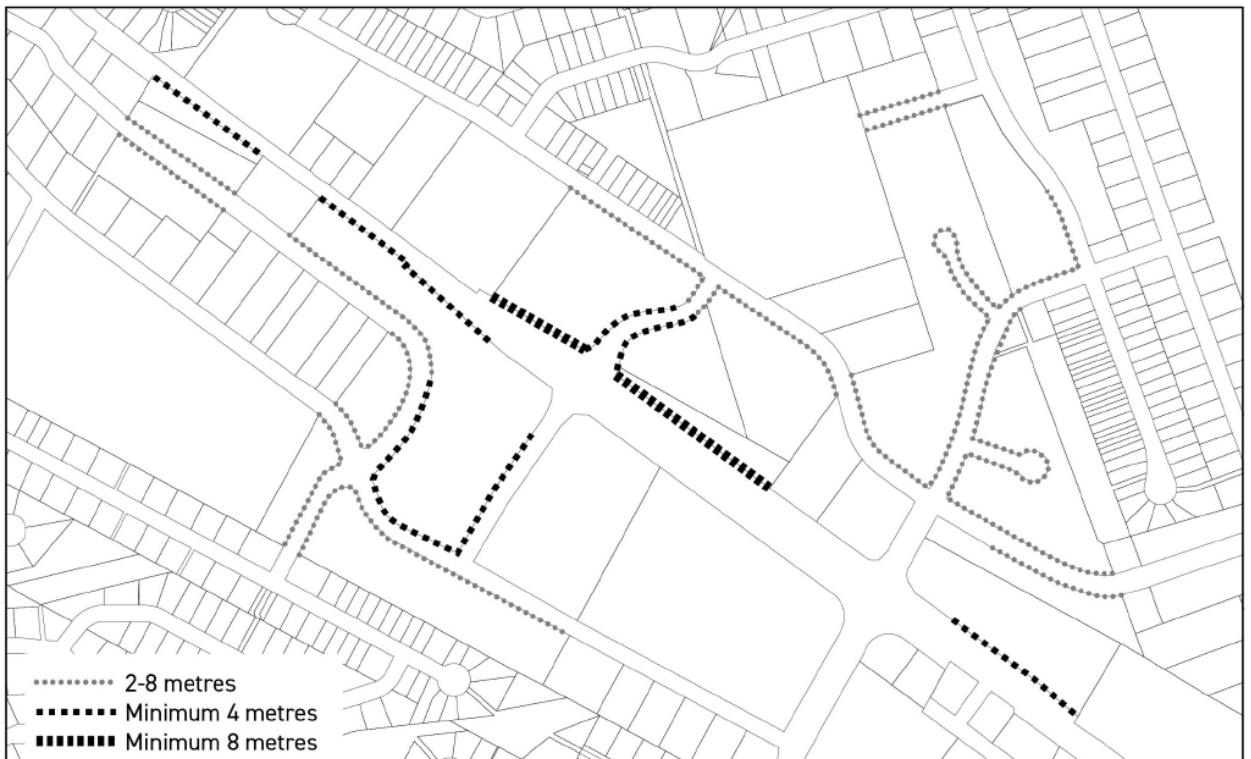
All new Roads in UC Zone shall follow the standards set out in Map 12.4 and the accompanying street standards (Section 12.5.17).



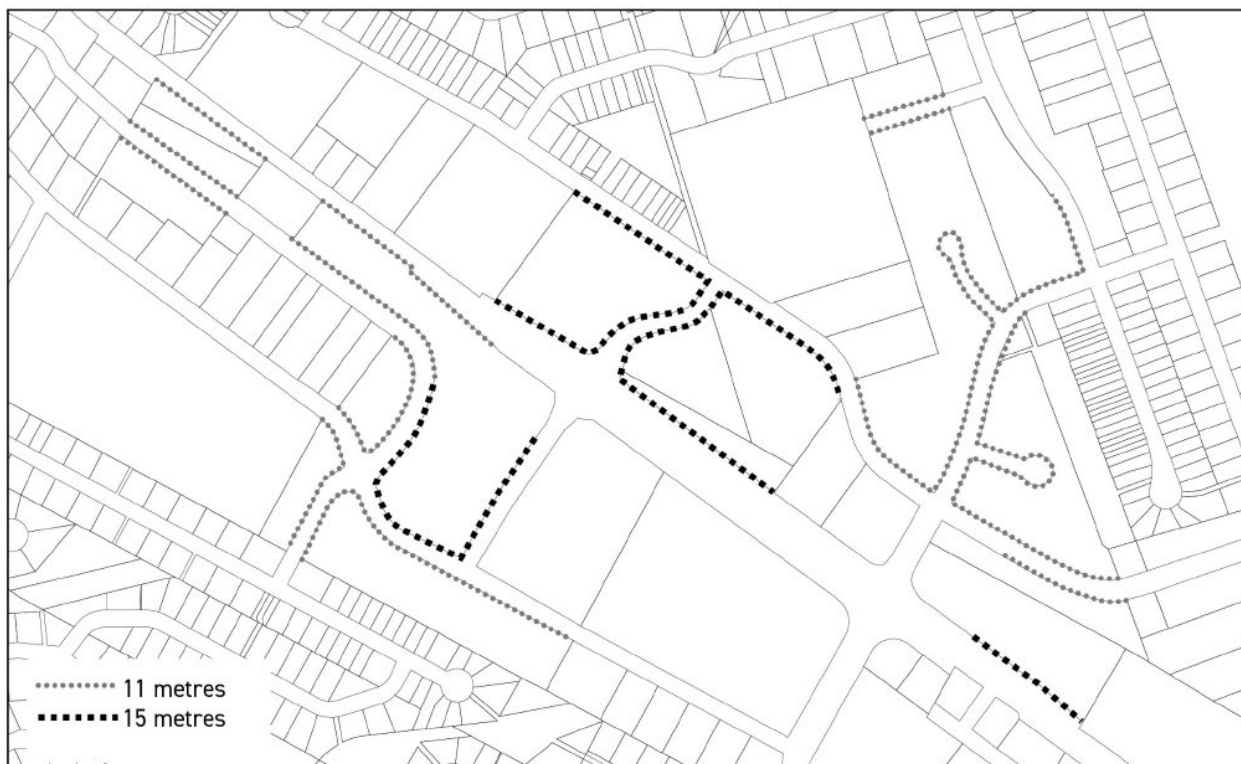
Typical UC Zone Built Form Diagram



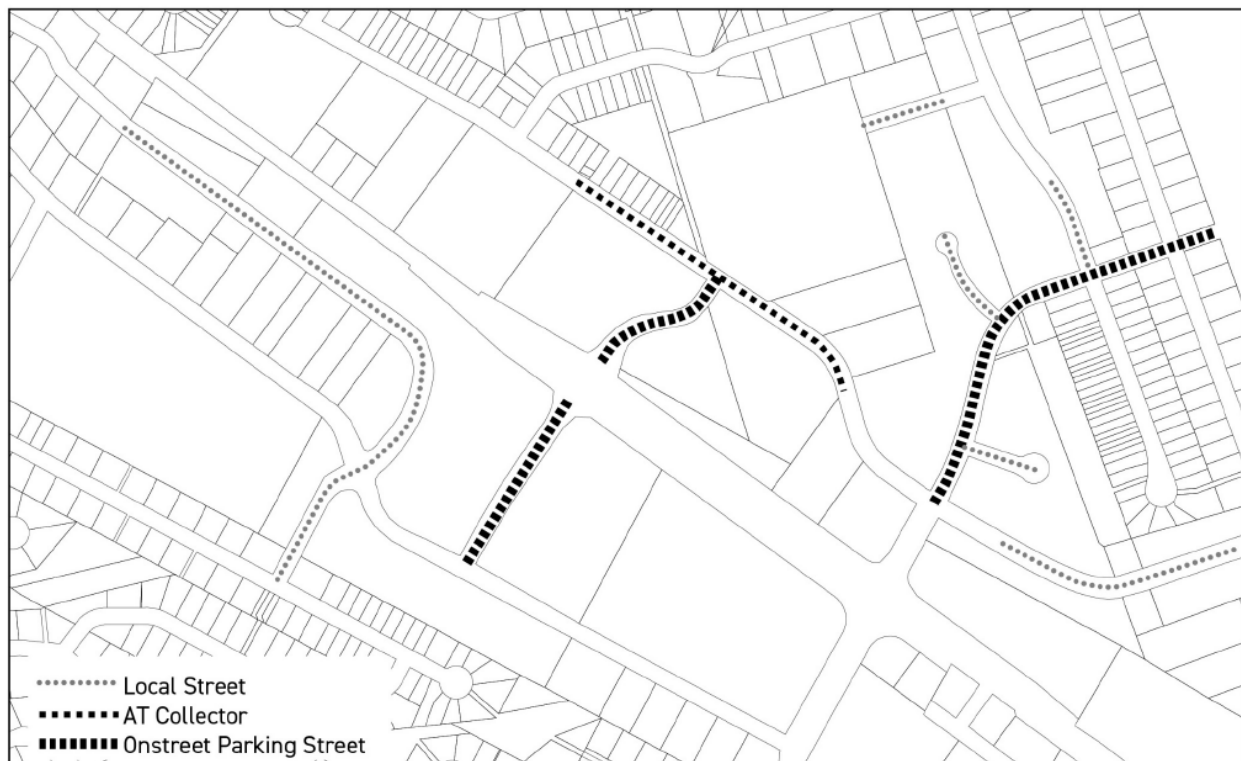
Map 12.1: Building Height Schedule (in metres)



Map 12.2: Streetwall Setbacks



Map 12.3: Streetwall Heights



Map 12.4: Street Type Schedule

12.5.17. STREET STANDARDS

Streets are a key component of the UC and CMU zones in the urban core and this sections outlines the road standards that must be built to realize this plan. These street types are subject to modification by the PEI Department of Transportation, the Town of Stratford or the Stratford Utility Corporation. There are 3 types of streets that will comprise the Core Area as noted below:

(a) Urban Onstreet Parking Street

The Urban Core streetscape is located in the UC zone and includes the following streetscape elements:

- i. 20-22m right of way;*
- ii. 4m wide travel lanes with curbs and gutters;*
- iii. Onstreet parking (ideally on both sides of the street) at least 2.6m wide with parking stalls spaced at 7.3m;*
- iv. Bump-outs at all driveway, crosswalks and street intersections;*
- v. 2m wide (min) concrete sidewalks on both sides;*
- vi. High quality Light standards spaced at about 30-40m that are dark-sky compliant. The light standards shall be at least 16' high with banner arms;*
- vii. Street furnishings (benches, trash receptacles, etc.);*
- viii. Street trees (min 60mm caliper) spaced @ 15m min on both sides; and*
- ix. Overhead powerlines or power poles permitted but underground services are preferred.*

(b) AT Collector Street:

The AT collector streets are located in both the UC and CMU zones and form the main circulation backbone to the development. These roads include a sidewalk on one side and a multiuse trail on the other side. The streetscape elements include:

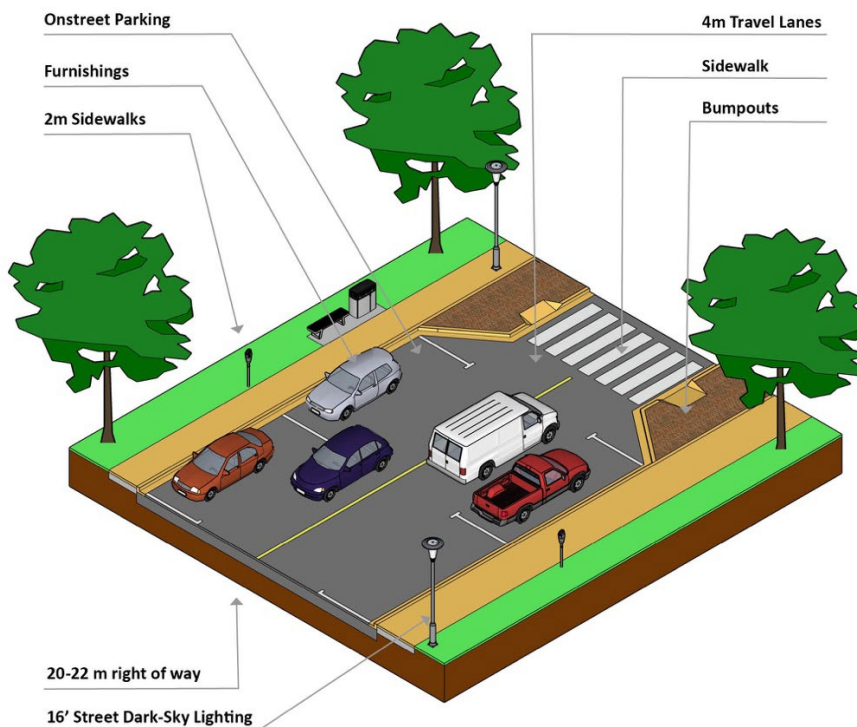
- i. 20m right of way;*
- ii. 4-4.5m travel lanes with curb and gutter;*
- iii. 1.8m min wide sidewalk on one side separated by a 1m grass verge and street trees on the right-of-way side spaced at 10-15m;*
- iv. 3.2m wide asphalt multi-use trail on the other side of the street separated by a 1m grass verge and street trees on the right-of-way side spaced at 10-15m;*
- v. Dark sky compliant street lighting spaced at about 30-35m within the 1m verge on both sides of the street. Lighting height shall range between 12-16' standards;*

- vi. *Could explore the potential of rainwater gardens in the verge on multi-unit sites instead of 1m of grass;*
- vii. *Bumpouts at street intersections; and*
- viii. *No overhead powerlines or power poles permitted.*

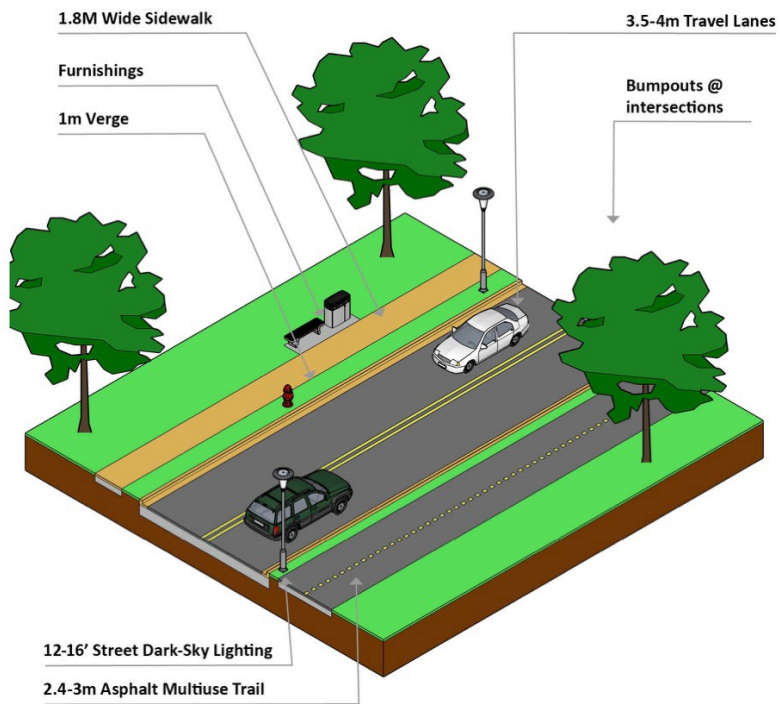
(c) *Local Street:*

There are several local streets on both UC and CMU zones lands linking to existing roads and future neighbourhoods. These roads include a sidewalk on one side only. The streetscape elements include:

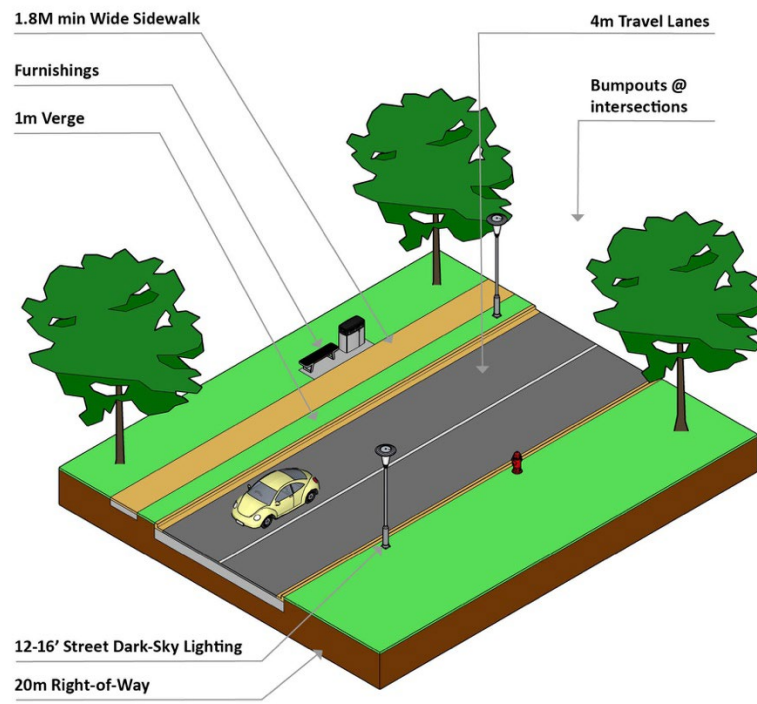
- i. *20m right of way;*
- ii. *4m travel lanes with curb and gutter;*
- iii. *1.8m wide sidewalk on one side separated by a 1m grass verge and street trees on the right-of-way side spaced at 10-15m;*
- iv. *Dark sky compliant street lighting spaced at about 30-35m within the 1m verge on the sidewalk side of the street. Lighting height shall range between 12-16' standards;*
- v. *Bumpouts at street intersections; and*
- vi. *Overhead powerlines or power poles are optional.*



Urban Core Onstreet Parking Street Diagram



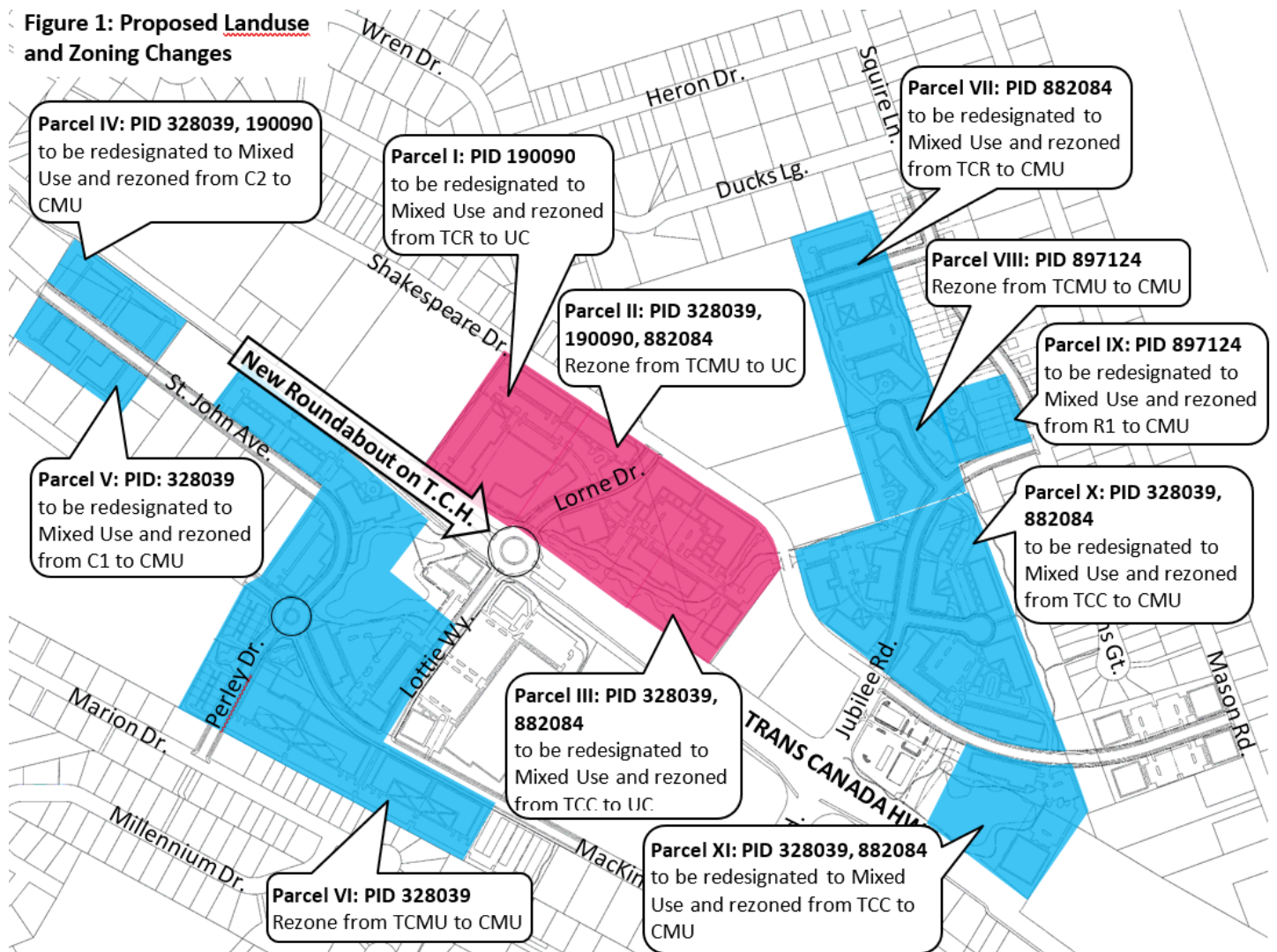
AT Street Diagram



Local Street Diagram

19. Appendix “A”, Town of Stratford Zoning Map, of the Town of Stratford Zoning and Development Bylaw #45 is amended by the following (See Figure 1):
1. The zoning of a portion of PID 190090 indicated as Parcel I on Figure 1 shall be Urban Core (UC), hereby excluding it from its former zoning of Town Centre Residential (TCR).
 2. The zoning of portions of PID 328039, PID 190090, and PID 882084 indicated as Parcel II on Figure 1 shall be Urban Core (UC), hereby excluding it from its former zoning of Town Centre Mixed Use (TCMU).
 3. The zoning of portions of PID 328039 and PID 882084 indicated as Parcel III on Figure 1 shall be Urban Core (UC), hereby excluding it from its former zoning of Town Centre Commercial (TCC).
 4. The zoning of portions of PID 328039 and PID 190090 indicated as Parcel IV on Figure 1 shall be Core Mixed Use (CMU), hereby excluding it from its former zoning of Highway Commercial (C2).
 5. The zoning of a portion of PID 328039 indicated as Parcel V on Figure 1 shall be Core Mixed Use (CMU), hereby excluding it from its former zoning of General Commercial (C1).
 6. The zoning of a portion of PID 328039 indicated as Parcel VI on Figure 1 shall be Core Mixed Use (CMU), hereby excluding it from its former zoning of Town Centre Mixed Use (TCMU).
 7. The zoning of a portion of PID 882084 indicated as Parcel VII on Figure 1 shall be Core Mixed Use (CMU), hereby excluding it from its former zoning of Town Centre Residential (TCR).
 8. The zoning of a portion of PID 897124 indicated as Parcel VIII on Figure 1 shall be Core Mixed Use (CMU), hereby excluding it from its former zoning of Town Centre Mixed Use (TCMU).
 9. The zoning of a portion PID 897124 indicated as Parcel IX on Figure 1 shall be Core Mixed Use (CMU), hereby excluding it from its former zoning of Low Density Residential (R1).
 10. The zoning of a portion PID 328039 and PID 882084 indicated as Parcel X on Figure 1 shall be Core Mixed Use (CMU), hereby excluding it from its former zoning of Town Centre Commercial (TCC).
 11. The zoning of a portion PID 328039 and PID 882084 indicated as Parcel XI on Figure 1 shall be Core Mixed Use (CMU), hereby excluding it from its former zoning of Town Centre Commercial (TCC).

Figure 1: Proposed Landuse and Zoning Changes



This Bylaw received first reading and formal approval at the Town Council meeting of March 8, 2023.

This Bylaw received second reading and final approval at the Town Council meeting of _____, 2023.

This bylaw was formally adopted by Council at a meeting held on _____, 2023.

This bylaw is hereby declared to be passed and proclaimed as a bylaw of the Town of Stratford on this _____ day of _____ 2023.

Witness the corporate seal of the Town.

Mayor

Chief Administrative Officer

This bylaw is hereby declared to be passed and proclaimed as a bylaw of the Town of Stratford

on this _____ day of _____, 2023.

Hon. _____

Ministry of Agriculture and Land